Hamtramck Public Schools Kosciuszko Middle School Structural Repairs Addendum # 2 December 7, 2022 Page 1 of 1

ADDENDUM

| Project Name: | Hamtramck Public Schools Kosciuszko Middle School Structural Re Structural Repairs | Addendum No: pairs | Two (2) |
|--------------------------------------|--|-----------------------|------------------|
| Project Number: Project Location: | 21-167 Hamtramck, Michigan | Issue Date: | December 7, 2022 |

This Addendum forms a part of the above described Contract Documents and supersedes, supplements or clarifies parts thereof to the extent defined by the terms set forth in this Addendum.

This addendum consists of (2) typed pages and the following attachment:

| General Information: | | Pre-Bid "Sign-In Sheet" | | |
|----------------------|---------|-------------------------|--------|------------------|
| Drawings: | Sheets: | A0-02, | A1-02, | A3-02 and A6-01. |

GENERAL ITEMS:

- **ITEM G1** Pre-Bid meeting attendance sign in sheet attached.
- **ITEM G2** The following are the instructions on how to attend the virtual bid opening:

21-155 HPS KMS Structural Repairs Bid Opening Dec 13, 2022, 2:00 – 2:30 PM

Please join my meeting from your computer, tablet or smartphone. https://meet.goto.com/623789237

You can also dial in using your phone. Access Code: 623-789-237 United States: <u>+1 (408) 650-3123</u>

ARCHITECTURAL DRAWINGS:

| ITEM A1 | Drawing A0-02 – Composite Floor Plans (Revised and reissued) A. Indicated that a chain link construction fence should be erected around the limits of the work area. B. Added a note indicating that the entire work area and affected adjoining areas are to be reseeded after construction is completed. |
|---------|--|
| ITEM A2 | Drawing A1-02 – Upper Level Demolition Plan & Elevation (Revised and reissued) A. Revised keynote 12 to say, "Remove existing flag pole and store for reinstallation. Remove concrete foundation from around pole base". |
| ITEM A3 | Drawing A3-02 – Upper Level Floor Plan and Elevation (Revised and reissued) A. Added keynote 21 saying, "Remounted existing flagpole with new concrete base. See Section 5/A6-01." |

Hamtramck Public Schools Kosciuszko Middle School Structural Repairs Addendum # 2 December 7, 2022 Page 2 of 1

- ITEM A4Drawing A5-10 Building Sections (Revised and reissued)A.Eliminated the suspended metal ceiling in Mechanical Equipment 103 on Building Section 1/A3-01.
- ITEM A5 Drawing A6-01 Wall Sections (Revised and reissued) A. Added new flagpole foundation Detail 5/A3-02.

STRUCTURAL DRAWINGS:

- **ITEM S1** Drawing S201 Partial Foundation Plan (Revised and not reissued)
 - A. Shifted the 1/S300 section cut line west of its current location so that it cuts through new Corridor 102.
 - B. Added a note and placed an 'X' in dashed lines over new Corridor 102 to indicate the only portion of the existing mechanical equipment area that is to be provided with a suspended 1 ¹/₂" metal deck ceiling.
- ITEM S2Drawing S202 Partial Top Slab Plan (Revised and not reissued)A.Shifted the 1/S300 section cut line west of its current location so that it cuts through new Corridor 102.
- **ITEM S3** Drawing S300 General Sections and Details (Revised and not reissued)
 - A. Eliminated suspended 1 ¹/₂" metal deck ceiling and anchoring in Section 2/S300.
 - B. Added a note indicating that the premanufactured concrete sphere shown in Section 1/S300 actually occurs east of where the section has been cut only so that the reinforcement for the pedestal base could be shown.

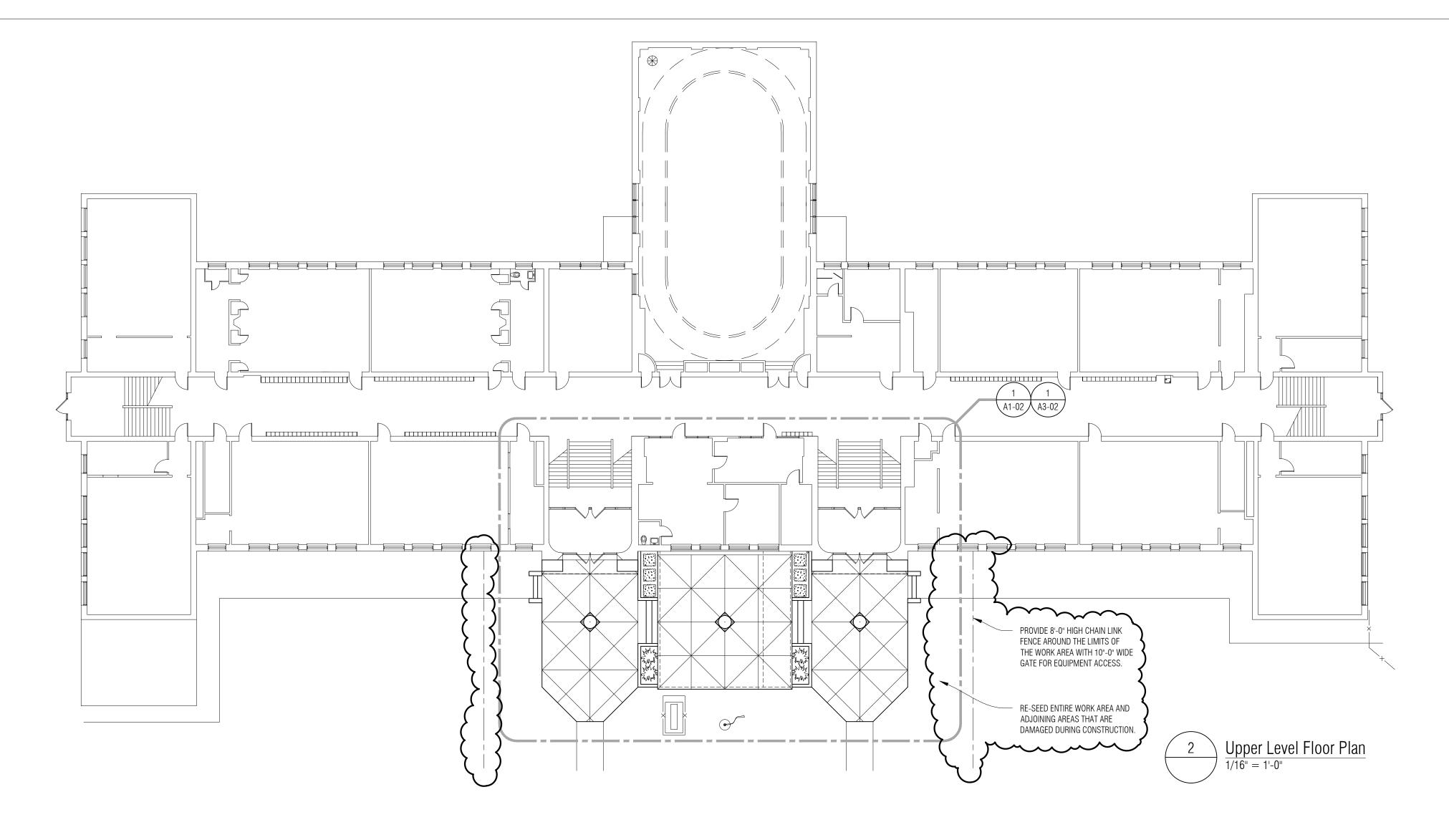
END OF ADDENDUM

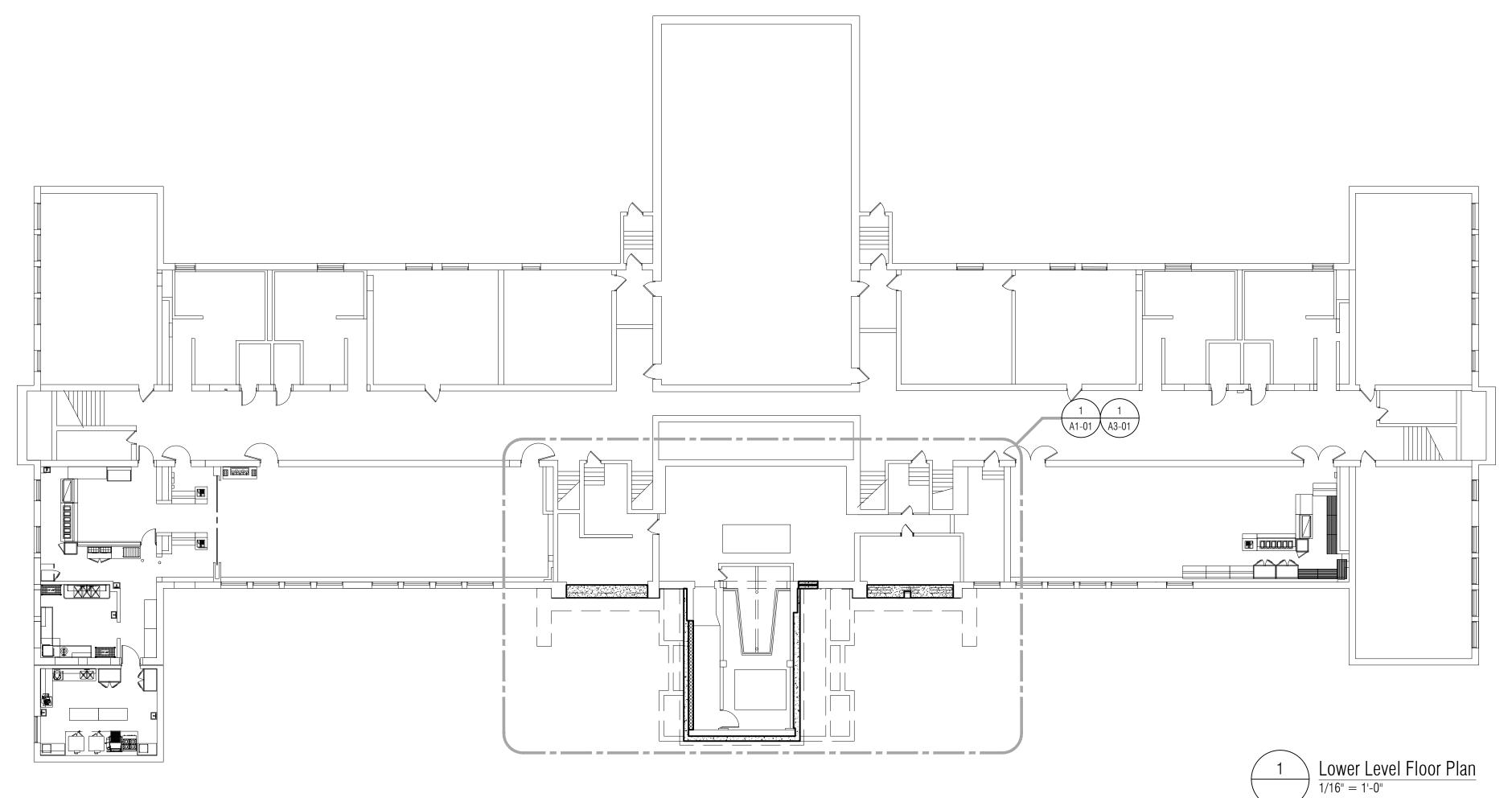
HAMTRAMCK PUBLIC SCHOOLS KOSCIUSZKO MIDDLE SCHOOL STRUCTURAL REPAIRS PARTNERS PROJECT #21-167

PRE-BID MEETING SIGN-IN SHEET November 30, 2022 @ 9:30 a.m.

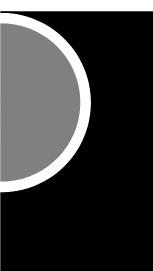
Prime Contractor?

| Phone / Fax | L | | | | |
|---------------|-------------------------------|--|--|--|--|
| Email Address | matt @ sperten - construction | | | | |
| Company Name | Spartan construction | | | | |
| Attendee Name | > | | | | |
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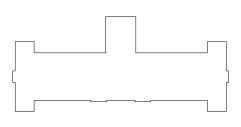
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CONSULTANT

KEY PLAN



owner Hamtramck

Hamtramck Public Schools

PROJECT NAME

Kosciuszko Middle School Structural Repairs

2333 Burger St. Hamtramck, MI 48212

PROJECT NO.

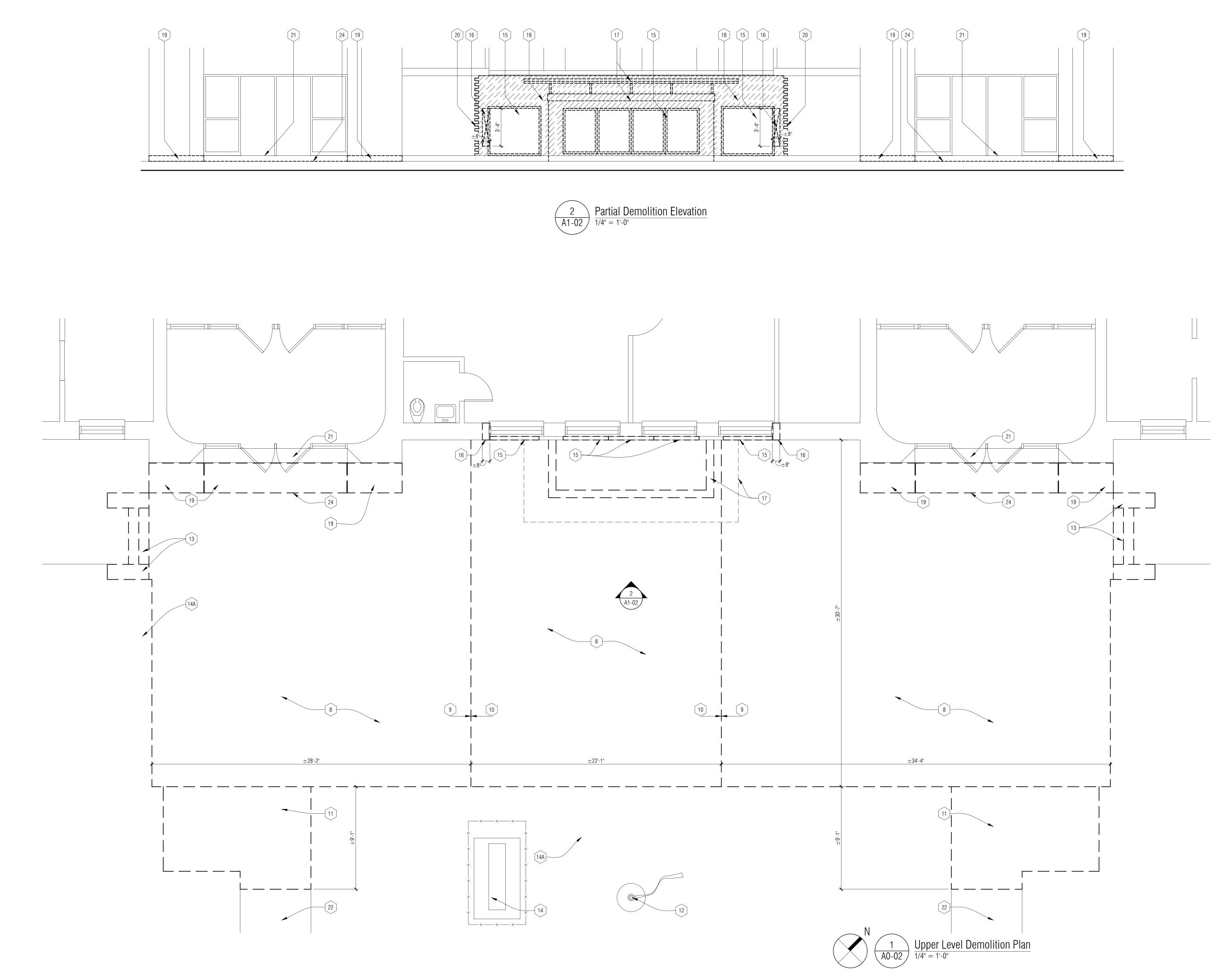
21-167

ISSUES / REVISIONS Bidding / Construction 11/17/2022 Addendum No. 2 12/7/2022

DRAWN BY CWP CHECKED BY DRM APPROVED BY MAM SHEET NAME

COMPOSITE FLOOR PLANS

SHEET NO. **A0-02**





- A. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING AND UNDERSTANDING EXISTING CONDITIONS PRIOR TO STARTING WORK.
- B. ASBESTOS AND OTHER HAZARDOUS MATERIALS WILL BE REMOVED BY OWNER'S ABATEMENT CONTRACTOR PRIOR TO START OF CONSTRUCTION. IF ANY SUSPECTED HAZARDOUS MATERIAL IS ENCOUNTERED, STOP WORK IN THAT AREA, AND IMMEDIATELY INFORM THE CONSTRUCTION MANAGER AND THE ARCHITECT.
- C. DO NOT SCALE DRAWINGS. USE DIMENSIONS PROVIDED AND VERIFY IN FIELD. IF A CONFLICT IS ENCOUNTERED OR A REQUIRED DIMENSION IS NOT PROVIDED, REQUEST A CLARIFICATION FROM THE ARCHITECT.
- D. NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR CONFLICTS WITH FLOOR PLANS OR EXISTING CONDITIONS PRIOR TO STARTING WORK.
- E. ALL DEMOLITION MEANS, METHODS AND SAFETY PRECAUTIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING BUILDING ELEMENTS AND SITE FROM DAMAGE CAUSED BY CONSTRUCTION OR CONSTRUCTION TRADES, AND SHALL REPAIR ANY DAMAGED AREAS AT NO ADDITIONAL COST TO THE OWNER.
- G. DEMOLITION DRAWINGS AND DETAILS ARE PROVIDED TO SHOW THE GENERAL SCOPE OF THE DEMOLITION WORK. IT IS THE CONTRACTORS RESPONSIBILITY TO PERFORM ALL DEMOLITION WORK NECESSARY TO ACCOMPLISH THE NEW WORK. COORDINATE WITH ALL TRADES
- H. DISPOSE OF ALL DEMOLITION MATERIALS LEGALLY OFF SITE.
- I. PREP ALL NEW MASONRY OPENINGS TO RECEIVE NEW TOOTHED-IN MASONRY FOR LIKE NEW APPEARANCE WHERE DEMOLITION OCCURS AND WALL IS VISIBLE. COORDINATE WITH MASON.

DEMOLITION PLAN KEY NOTES:

1 EXISTING FOUNDATION WALL TO BE REMOVED. SHORE EXISTING TO REMAIN WALLS AS REQUIRED.

- 2 EXISTING STEEL TUBE COLUMN TO BE REMOVED.
- 2A EXISTING STEEL BEAM TO BE REMOVED.
- 3 EXISTING CONCRETE PIER TO BE REMOVED.
- 3A EXISTING CONCRETE BEAM TO BE REMOVED.
- 4 SAW CUT AND REMOVE EXISTING FLOOR SLAB (POCHE'D AREA)
- 5 EXISTING DOOR AND FRAME TO BE REMOVED.
- 6 EXISTING CMU WALL CONSTRUCTION TO BE REMOVED -COORDINATE LOCATION SO HEIGHT OF NEW DOOR DOES NOT DISTURB EXISTING WALL MOUNTED PIPES.
- AIR FILTER ENCLOSURE TO REMAIN. PROTECT DURING DEMOLITION & CONSTRUCTION
- 8 ASPHALT PAVING TO BE REMOVED.
- 9 EXISTING CONCRETE DECK BELOW ASPHALT PAVING TO BE REMOVED.
- 10 EXISTING CONCRETE DECK BELOW ASPHALT PAVING TO REMAIN.
- 11 EXISTING CONCRETE WALK TO BE REMOVED TO NEABEST JOINT.
- 12 REMOVE EXISTING FLAGPOLE AND STORE FOR REINSTALLATION. REMOVE CONCRETE FOUNDATION FROM AROUND POLE BASE.
- 13
 EXISTING CONCRETE STEPS AND END CAPS TO BE REMOVED.
- 14 EXISTING GAS METERING EQUIPMENT TO REMAIN PROTECT DURING DEMOLITION AND CONSTRUCTION - REFER TO MECHANICAL FOR GAS LINE REWORK.
- [15] EXISTING LOUVER TO BE REMOVED.
- 16 REMOVE EXISTING MASONRY TO EXTEND EXISTING LOUVER OPENING WIDTH. SHORE EXISTING WALL AS REQUIRED FOR LINTEL INSTALLATION. COORDINATE WITH MECH FOR FINAL OPENING SIZE REQUIRED.
- EXISTING CONCRETE WALL & METAL ROOF ENCLOSURE TO BE REMOVED.
- 18 EXISTING FACE BRICK TO BE REMOVED. REMOVE MIN. OF 8" BEYOND NEW MASONRY OPENINGS OF FURTHEST APART LOUVERS.
- 19 EXISTING LIMESTONE END CAPS TO BE REMOVED AND SALVAGED FOR REUSE. CONTRACTOR TO MARK CAPS TO ALLOW REINSTALLATION AT SAME LOCATION.
- 20 REMOVE BRICK IN SAW TOOTH FASHION TO ALLOW FOR INSTALLATION OF NEW BRICK.
- 21 EXISTING LIMESTONE STEP TO REMAIN PROTECT DURING DEMOLITION AND CONSTRUCTION.
- EXISTING CONC TO REMAIN PROTECT DURING DEMOLITION AND CONSTRUCTION.
- 23 EXISTING MECHANICAL TO REMAIN PROTECT DURING DEMOLITION AND CONSTRUCTION.
- EXISTING CONC TO BE REMOVED AS REQUIRED TO COMPLETE NEW SITE WORK.
- 25 REMOVE ANY CHIPPED, CRACKED OR FRAGMENTED AREAS OF EXISTING CONCRETE DECK SURFACES ABOVE FUTURE CORRIDOR.
- 26 REMOVE PORTION OF CRACKED PLASTER CEILING AND PREP AREA TO RECEIVE NEW PAINT.

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CONSULTANT

KEY PLAN

Hamtramck Public Schools

PROJECT NAME

OWNER

Kosciuszko Middle School Structural Repairs

2333 Burger St. Hamtramck, MI 48212

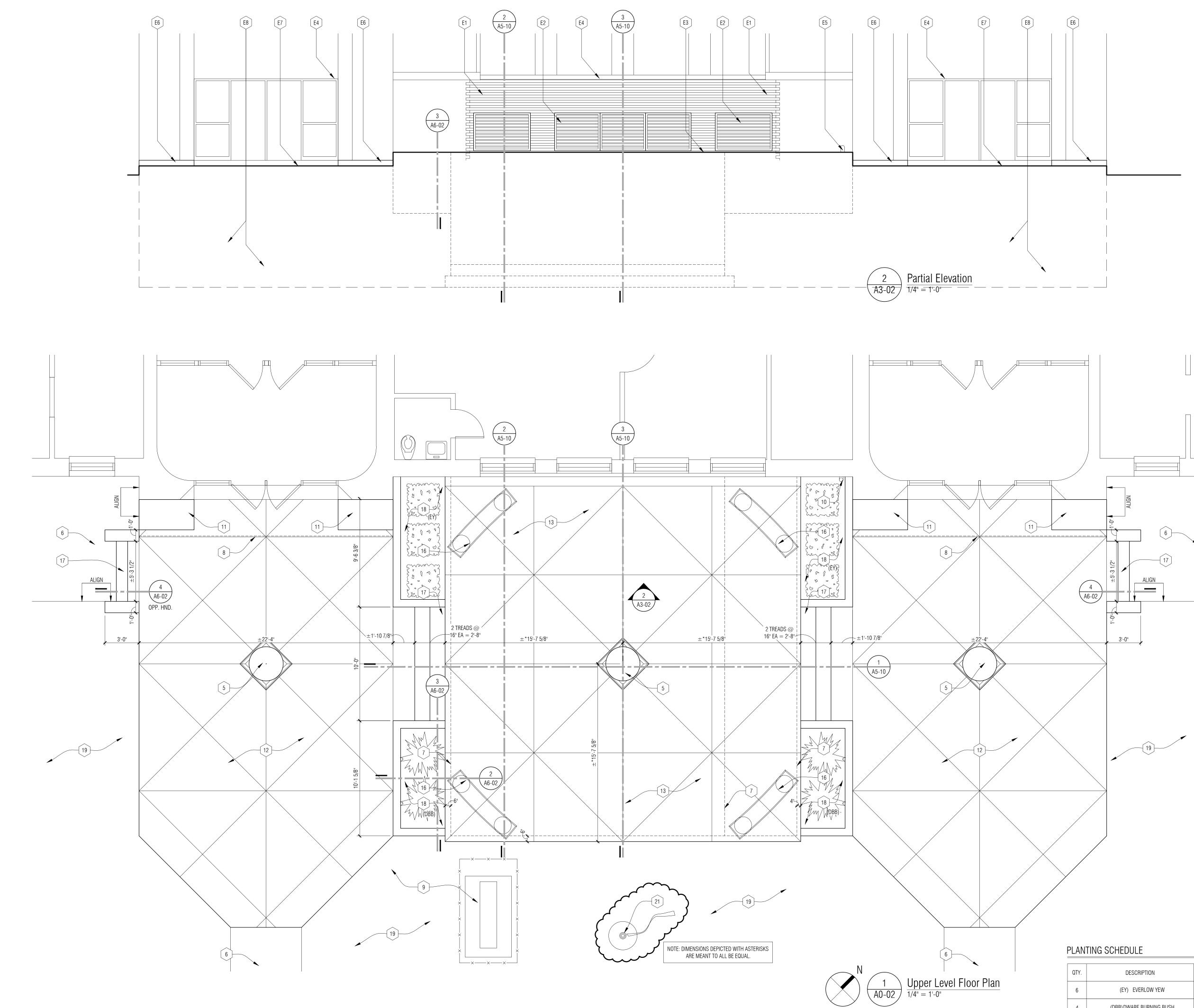
PROJECT NO.

21-167

| ISSUES / REVISIONS | |
|------------------------|------------|
| Bidding / Construction | 11/17/2022 |
| Addendum No. 1 | 12/06/2022 |
| Addendum No. 2 | 12/07/2022 |

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SHEET NO. A1-02



FLOOR PLAN GENERAL NOTES:

- A. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING AND UNDERSTANDING EXISTING CONDITIONS PRIOR TO STARTING WORK.
- B. ASBESTOS AND OTHER HAZARDOUS MATERIALS WILL BE REMOVED BY OWNER'S ABATEMENT CONTRACTOR PRIOR TO START OF CONSTRUCTION. IF ANY SUSPECTED HAZARDOUS MATERIAL IS ENCOUNTERED, STOP WORK IN THAT AREA, AND IMMEDIATELY INFORM THE CONSTRUCTION MANAGER AND THE ARCHITECT.
- C. DO NOT SCALE DRAWINGS. USE DIMENSIONS PROVIDED AND VERIFY IN FIELD. IF A CONFLICT IS ENCOUNTERED OR A REQUIRED DIMENSION IS NOT PROVIDED, REQUEST A CLARIFICATION FROM THE ARCHITECT.
- D. NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR CONFLICTS WITH FLOOR PLANS OR EXISTING CONDITIONS PRIOR TO STARTING WORK.
- E. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING BUILDING ELEMENTS AND SITE FROM DAMAGE CAUSED BY CONSTRUCTION OR CONSTRUCTION TRADES, AND SHALL REPAIR ANDY DAMAGED AREAS AT NO ADDITIONAL COST TO THE OWNER.
- F. DISPOSE OF ALL CONSTRUCTION MATERIALS LEGALLY OFF SITE.
- G. MAINTAIN EXISTING FIRE RATINGS IN EXISTING BUILDING DURING CONSTRUCTION. REFER TO LIFE SAFETY SHEETS FOR MORE INFORMATION, AS WELL AS CONSTRUCTION MANAGERS INSTRUCTIONS.
- H. ALL CONSTRUCTION MEANS, METHODS AND SAFETY PRECAUTIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

FLOOR PLAN KEY NOTES:

- LINE OF REINFORCED CONCRETE FOOTINGS ABOVE. REFER TO SECTIONS AND STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- 2 FILL VOID CREATED FROM REMOVAL OF EXISTING CONSTRUCTION WITH COMPACTED ENGINEERED FILL. REFER TO A1-01 FOR AREA DIMENSIONS. ASSUME A HEIGHT OF $\pm 10'-0''$.
- 3 NEW 30"w X 30"h ACCESS DOOR IN MODIFIED EXISTING MASONRY WALL COORDINATE EXISTING CLEAR HEIGHT AVAILABLE FOR DOOR WITH EXISTING WALL MOUNTED PIPING PRIOR TO ORDERING. INFORM ARCHITECT IF CALLED OUT DOOR SIZE WILL NOT FIT IN EXISTING CONDITIONS.
- 4 NEW REINFORCED CONCRETE WALL AROUND EXISTING WALL CONSTRUCTION. REFER TO STRUCTURAL.
- ALTERNATE #1: PRE-CAST CONCRETE SPHERICAL BOLLARD - $\stackrel{5}{\checkmark}$ REFER TO SPECIFICATIONS.
- 6 EXISTING CONCRETE WALK TO REMAIN PROTECT DURING CONSTRUCITON.
- [7] LINE OF NEW FOUNDATION BELOW REFER TO STRUCTURAL.
- 8 SUPPORTED SLAB REFER TO STRUCTURAL DRAWINGS.
- EXISTING GAS METERING EQUIPMENT TO REMAIN COORDINATE 9 NEW GAS LINE INSTALLATION WITH MECHANICAL. PROTECT DURING CONSTRUCTION.
- APPROXIMATE LOCATION OF RELOCATED GAS LINE TO ENTER Building - Coordinate with existing equipment, New PLANTER LOCATION AND MECHANICAL DRAWINGS. PAINT EXPOSED CONDUIT AND SEAL AT BUILDING.
- > EXISTING LIMESTONE STEP REINSTALLED IN SAME LOCATION ON NEW CONCRETE FOOTING. REFER TO STRUCTURAL.
- NEW 6" CONCRETE PAVING ON COMPACTED GRANULAR FILL ON ENGINEERED FILL - JOINT LINE PATTERN TO BE COORDINATED W/ALTERNATE - CONTRACTOR TO PROVIDE SHOP DRAWING LAYOUT PRIOR TO CONSTRUCTION.
- 13 NEW POURED CONCRETE ON RIGID INSULATION & CONCRETE DECK. REFER TO WALL SECTIONS AND STRUCTURAL DRAWINGS.
- NEW 3'-6""W X 6'-6"h HOLLOW METAL DOOR AND FRAME- REFER TO SPECIFICATIONS AND DOOR HARDWARE SECTION DOOR TO BE 60 MIN RATED. SECURE FRAME TO EXISTING CMU/CONCRETE JAMBS & HEAD. INFILL HEADER AS REQUIRED TO ACHIEVE COMPLETE SEAL OF FAN ROOM. VERIFY SIZE OF OPENING PRIOR TO ORDERING NEW DOOR.
- INFILL EXISTING OPENING WITH REINFORCED CONCRETE. REFER TO ^J STRUCTURAL DRAWINGS FOR REINFORCING INFORMATION. INTENT OF INFILL IS TO SUPPORT EXISTING CONC FOUNDATION BEAM. COORDINATE LOCATION AND VERIFY THICKNESS IN FIELD.
- ALTERNATE #1: CURVED PRE-CAST CONCRETE BENCH REFER TO SPECIFICATIONS.
- 17 NEW CONCRETE STEPS REFER TO SECTIONS AND STRUCTURAL DRAWINGS.
- CONCRETE PLANTERS REFER TO SECTIONS AND STRUCTURAL DRAWINGS.
- 19 RESTORE ALL LAWN AREAS DISTURBED DUE TO CONSTRUCTION -REFER TO SPECIFICATIONS.
- 20 APPLY WATERPROOFING TO EXISTING BUILDING FOUNDATION & NEW INFILL WALLS.
- REINSTALLED EXISTING FLAGPOLE WITH NEW CONCRETE BASE. SE 21 SECTION 5/A6-01.

ELEVATION KEY NOTES:

- E1 NEW RUNNING BOND FACE BRICK TO MATCH EXISTING REFER TO SPECIFICATIONS. TOOTH NEW BRICK INTO EXISTING.
- E2 PRE-FINISHED MECHANICAL LOUVER REFER TO MECH.
- E3 LINE OF NEW CONCRETE DECK.
- E4 EXISTING BUILDING ELEMENTS TO REMAIN.
- E5 RELOCATED GAS LINE REFER TO MECHANICAL DRAWINGS.
- E6 EXISTING LIMESTONE STEP REINSTALLED IN SAME LOCATION ON NEW CONCRETE FOOTING REFER TO STRUCT.
- [E7] LINE OF NEW CONCRETE PAVING.
- E8 AREA WHERE EXISTING BASEMENT CONSTRUCTION WAS REMOVED TO BE BACKFILLED WITH COMPACTED ENGINEERED FILL. REFER TO FLOOR PLAN KEYNOTE 2 FOR MORE INFORMATION.

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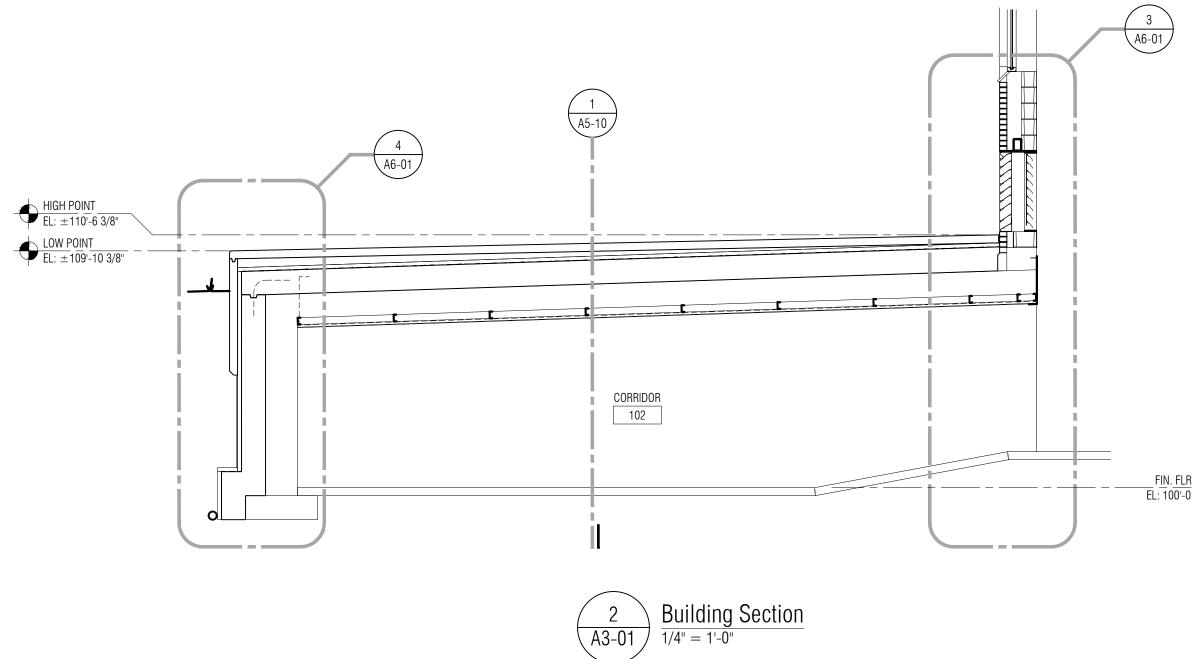
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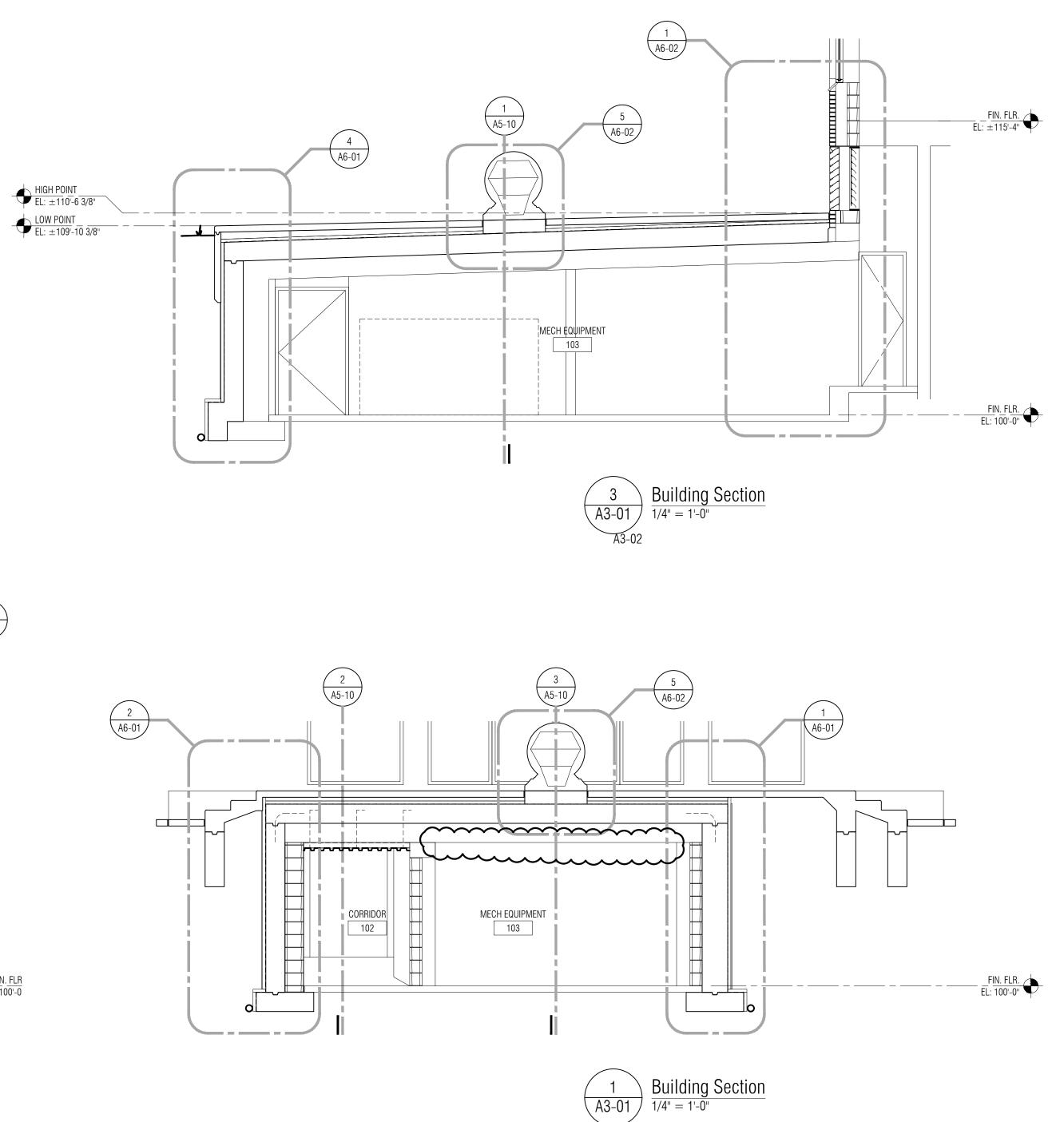
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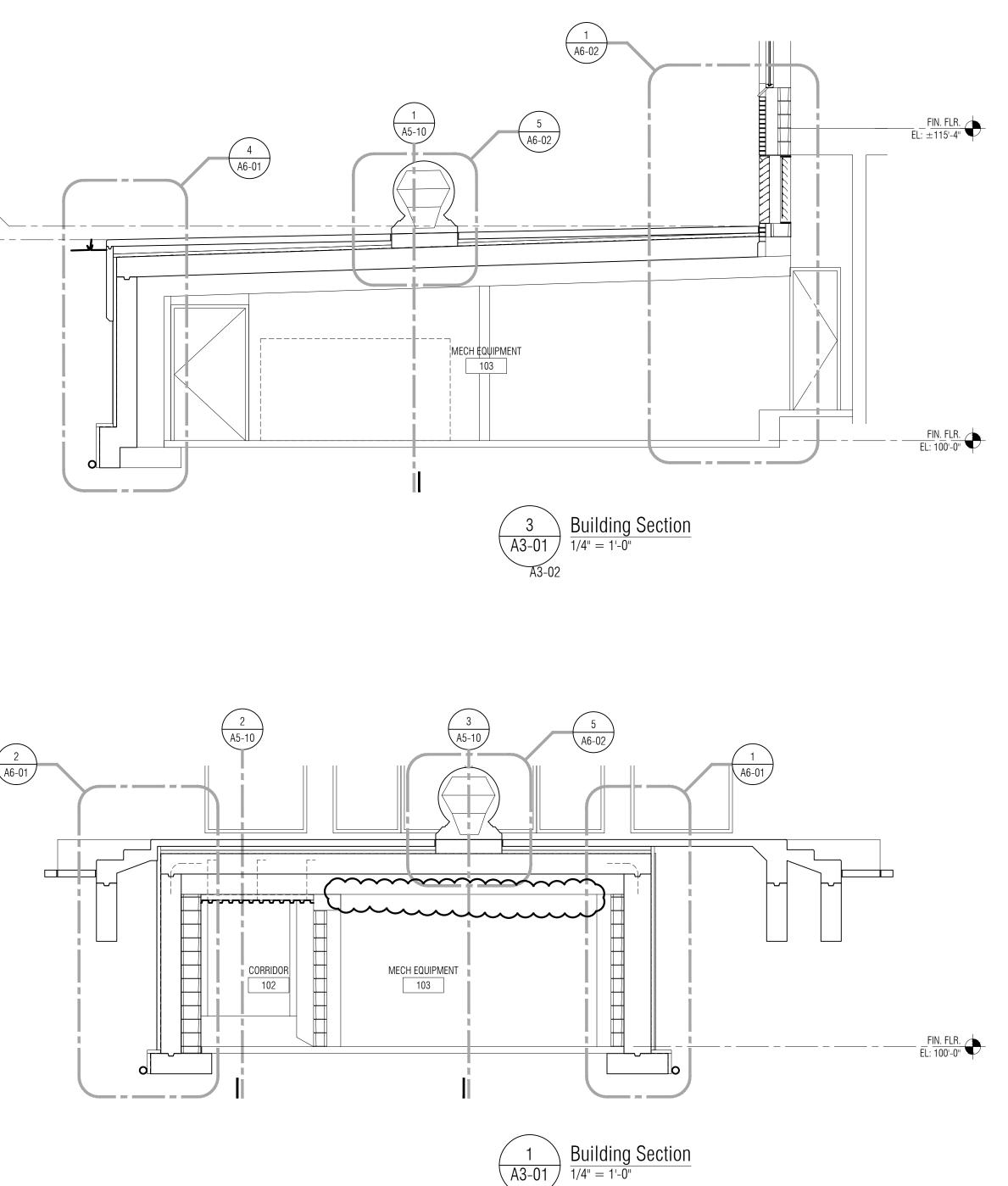
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UIILIN LLVLL FLOOR PLAN & ELEVATION

| QTY. | DESCRIPTION | SIZE / ROOT |
|------|--------------------------|-------------|
| 6 | (EY) EVERLOW YEW | 30"-36" |
| 4 | (DBB) DWARF BURNING BUSH | 30"-36" |







A3-02

A3-02

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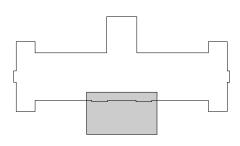
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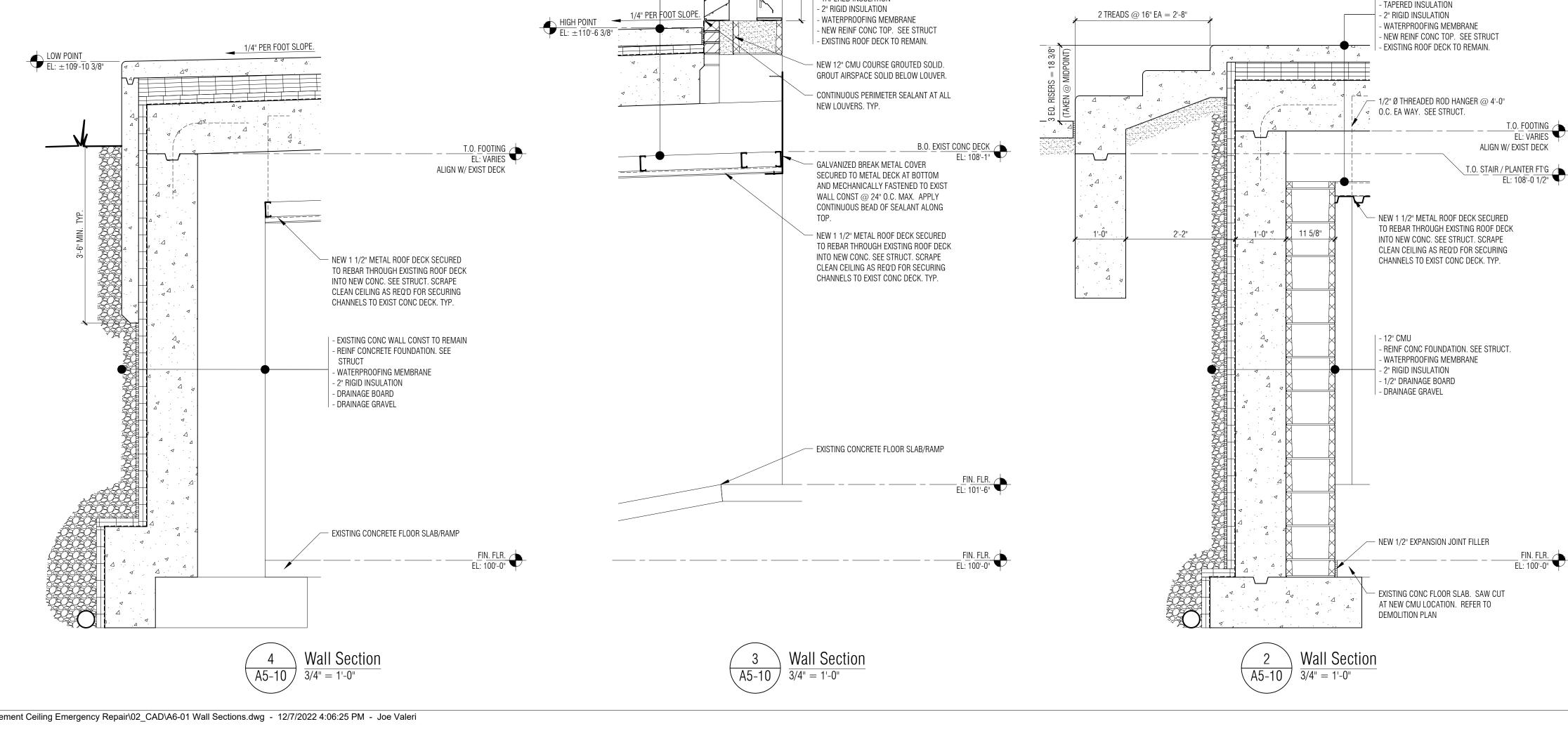
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ISSUES / REVISIONS
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 12/7/2022

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sheet no. A5-10



P:\2021\21-167-HPS KMS Basement Ceiling Emergency Repair\02_CAD\A6-01 Wall Sections.dwg - 12/7/2022 4:06:25 PM - Joe Valeri

— NEW DAMPER. SEE MECHANICAL

SEE MECHANICAL

- NEW PRE-FINISHED ALUMINUM LOUVER.

- REINF CONC DECK. SEE STRUCT

- WATERPROOFING MEMBRANE

- TAPERED INSULATION - 2" RIGID INSULATION

FOR EXTENT OF REPLACEMENT. — NEW STEEL TUBE LINTEL W/ BOTTOM PLATE. PROVIDE MIN. 8" BEARING ON BOTH SIDES. REFER TO STRUCT. FOR MORE INFORMATION. - GALVANIZED METAL FLASHING W/ DRIP EDGE. TYP.

★ - ____ - ____ - ____ - ____ _ <u>T.O. EXIST OPN'G</u> EL: 114'-0"

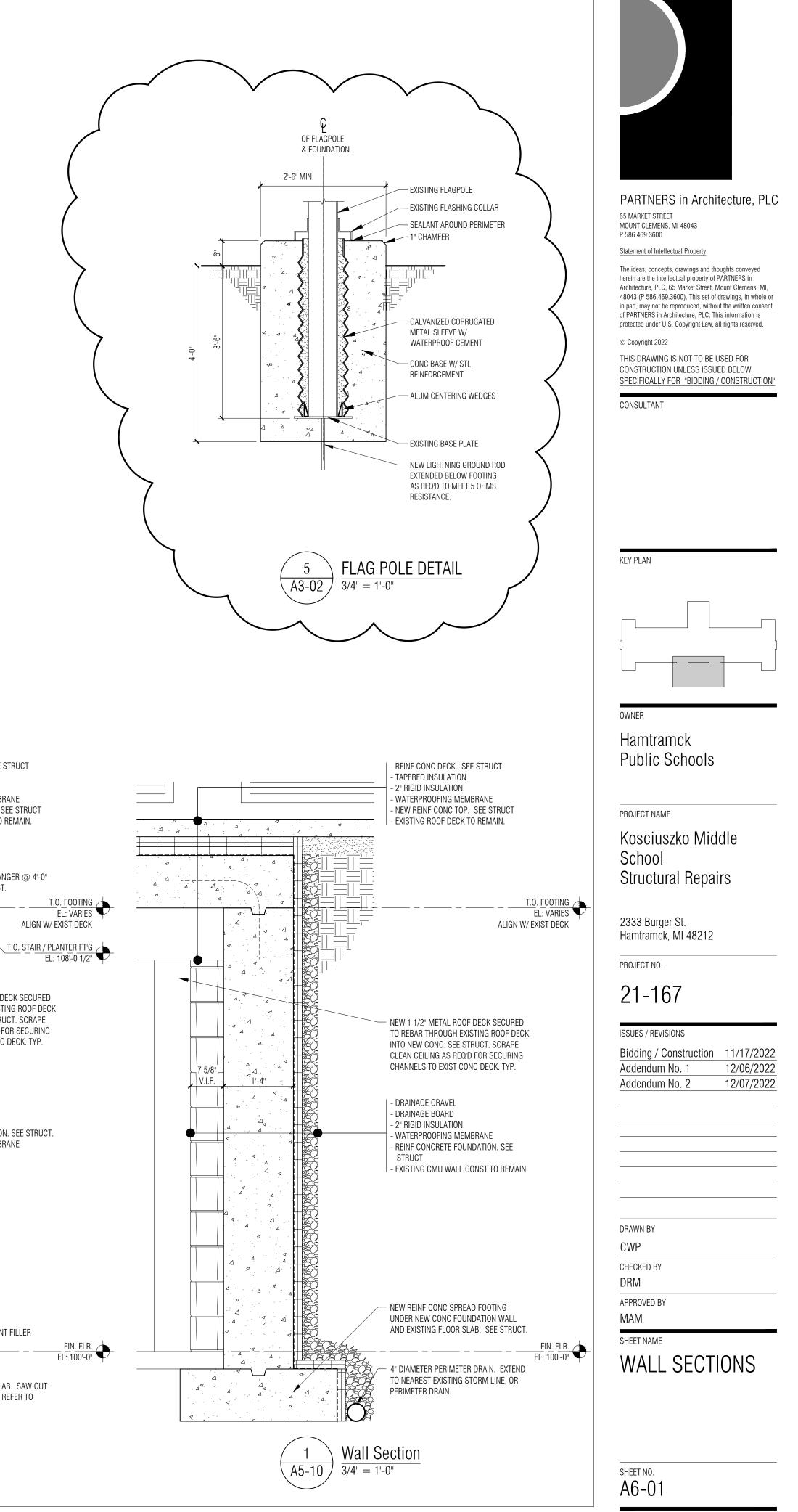
2 TREADS @ 16" EA = 2'-8"

REMAIN. - NEW RUNNING BOND FACE BRICK TO MATCH EXISTING. REFER TO ELEVATIONS

- EXISTING MASONRY CONSTRUCTION TO

 \mathbb{M}

 $\mathbf{1}$



- REINF CONC DECK. SEE STRUCT

- TAPERED INSULATION

2" RIGID INSULATION

PARTNERS